

Design Guide for Infill and Backland Development

Supplementary Planning Guidance



Planning,
Regeneration &
Strategic Housing

Adopted September 2009



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1 Purpose

- I.1 The purpose of this guidance is to inform members of the public and developers of the Council's approach to infill and backland development in both urban and rural locations. The impact of this type of development can vary greatly depending upon the particular location.
- I.2 Policies SP1 (Sustainability), CE35 (Sub-Division of Curtilages and Backland Development), CE38 (Quality of Design), CE39 (Residential Design and Layout) and CE40 (Infill Development) of the adopted Unitary Development Plan recognise that backland development can take place providing due consideration is given to the relevant criteria contained in the policies. This guidance enlarges on the policies and the criteria, and refers to other relevant policies in the Plan and other sources of planning guidance.
- I.3 This Supplementary Planning Guidance will be a material consideration in determining applications for planning permission for infill or backland development proposals.

Definitions

2.1 **Backland Development** is defined as development on land that lies to the rear of an existing property that often, but not in all cases, fronts a road.

2.2 The term usually applies to housing and is normally associated with small scale development (usually one or two plots). Access can be from the road serving the original properties from the front, from the side or from the rear:

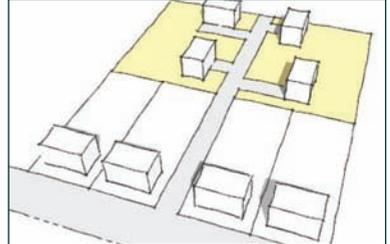


Diagram 1: Backland Development

2.3 Backland development may occur within the curtilages of existing buildings or closely adjacent to them. It can cause a significant loss of amenity to existing properties including loss of privacy, loss of daylight, overlooking, visual intrusion by a building or structure, noise disturbance, reduced space around buildings, loss of car parking, loss of mature vegetation or landscape screening.

2.4 Critical factors which define the extent of backland development include the size of the site, the capacity of the access and the impact on adjoining properties. In some cases impact considerations and the capacity of the access will restrict the amount of development.

2.5 **Tandem Development** is a form of backland development where a new dwelling is placed immediately behind an existing dwelling and served by the same vehicular access. Tandem development is generally unacceptable because of the impact on the amenity of the dwelling(s) at the front of the site and will only be permitted in exceptional circumstances.



Diagram 2: Tandem Development

2.6 **Infill Development** is defined in the Adopted Unitary Development Plan (May 2006) as:

- a) Development which fills a restricted gap in the continuity of existing buildings where the site has existing building curtilages, normally residential, adjoining on at least two sides; and
- b) Development within an urban or village area defined on the Proposals Map which would not involve outward extension of that area; and
- c) In a village context, development of the site itself as a complete scheme and not the first stage of a larger development, and would not normally exceed 4 dwellings.

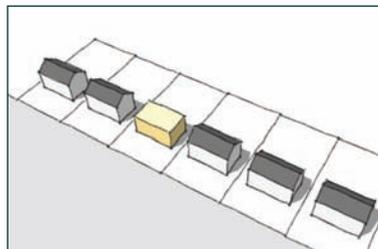


Diagram 3: Infill Development

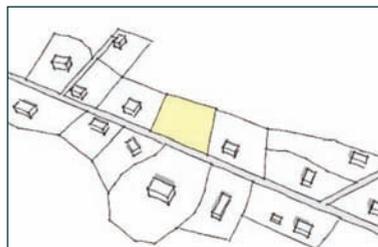


Diagram 4: Infill Development in a village context

2.7 This guidance does not preclude the development of non residential uses on backland but these should conform to this guidance, to Policy CE35 of the UDP, and should have no adverse impacts on adjacent residential areas.

2.8 Site Assembly

It is often possible to assemble sufficient land from a number of adjoining rear gardens to enable a small group of houses to be developed. This type of arrangement may be acceptable where the separation distance prevents any significant overlooking of accommodation or private amenity areas and other development control criteria on highway access, parking provision, the impact on the character of the area, etc. are satisfactorily complied with.

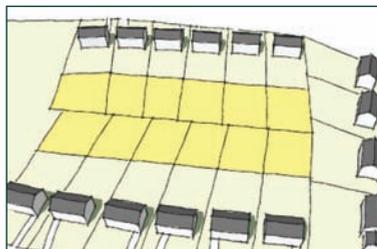


Diagram 5: Assembling a site from surrounding gardens

2.9 Flat Conversions and Houses in Multiple Occupation

The conversion of existing dwellings to flats or houses in multiple occupation can make more efficient use of existing dwellings and can contribute to the improvement and maintenance of larger dwellings in the older housing stock. However, they can also raise privacy issues, parking problems and can have an adverse effect on residential amenity.

2.10 Flat conversions are not addressed in this document. Specific guidance on these developments can be sought from '*Flat Conversions & Houses in Multiple Occupation: Supplementary Planning Guidance – Adopted June 2006*'.

3.1 Backland and infill developments must be in accordance with relevant national and local policies.

3.2 Planning Policy Wales

Planning Policy Wales (March 2002) sets out the land use planning policies of the Welsh Assembly Government together with its commitment to sustainable development. Sections of Planning Policy Wales have been updated into Ministerial Interim Planning Policy Statements (MIPPS), including issues on Sustainability, Housing and Planning for Good Design. The most recent edition of WAG planning policy should be referred to. Planning Policy Wales and accompanying documents can be viewed on the Welsh Assembly Government website at www.wales.gov.uk

3.3 The following summarised points are of particular relevance to the issue of backland and infill development:

- Sensitive infilling of small gaps within small groups of houses, or minor extensions to groups, may be acceptable, though much will depend upon the character of the surroundings and the number of such groups in the area (MIPPS – Housing 01/2006 - para 9.3.2).
- Insensitive infilling that could damage an area's character or amenity should be avoided (MIPPS – Housing 01/2006 para 9.3.3).
- Increases in density are noted to help to conserve land resources, and good design can overcome adverse effects, but where high densities are proposed the amenity of the scheme and surrounding property should be carefully considered (MIPPS – Housing 01/2006 - para. 9.3.4).
- Sensitive design and good landscaping are particularly important if new buildings are to be fitted successfully into small vacant sites in established residential areas. 'Tandem' development, sharing the same access, may cause difficulties of access to the house at the back and disturbance and lack of privacy to the house in front and should be avoided (MIPPS – Housing 01/2006 - para 9.2.13).

- The visual appearance of proposed development, its scale and its relationship to its surroundings and context are material planning considerations. Local planning authorities should reject poor building and contextual designs. However, they should not attempt to impose a particular architectural taste or style arbitrarily and should avoid inhibiting opportunities for innovative design solutions (MIPPS – Planning for good Design 01/2006 - para 2.9.8).
- Development proposals should mitigate the causes of climate change by minimising carbon and other greenhouse gas emissions, associated with their design, construction, use and eventual demolition. (MIPPS – Planning for Sustainable Buildings 01/2009 – para 2.12.2).
- To move towards more sustainable and zero carbon buildings in Wales, applications for 5 or more dwellings received on or after 1 September 2009 will meet Code for Sustainable Homes Level 3 and obtain 6 credits Under issue EneI 0 Dwelling Emission Rate. Applications for 1 or more dwellings received on or after 1 September 2010 will meet Code for Sustainable Homes Level 3 and obtain 6 credits under issue EneI – Dwelling Emission Rate. (MIPPS – Planning for Sustainable Buildings 01/2009 – para 2.12.4).

3.4 The Welsh Assembly Government promotes the sustainable use of brownfield land in urban areas. The appropriate density will vary according to context. The Welsh Assembly Government's definition of brownfield land is as follows:

3.5 Figure 2.1 Planning Policy Wales – Definition of Previously Developed Land.

Previously developed land is that which is or was occupied by a permanent structure (excluding agricultural or forestry buildings) and associated fixed surface infrastructure. The curtilage of the development is included, as are defence buildings, and land used for mineral extraction and waste disposal where provision for restoration has not been made through development control procedures.

Excluded from the definition are:

- Land and buildings currently in use for agricultural or forestry purposes;
- Land in built-up areas which has not been developed previously, for example parks, recreation grounds and allotments, even though these areas may contain certain urban features such as paths, pavilions and other buildings;
- Land where the remains of any structure or activity have blended into the landscape over time so that they can reasonably be considered part of the natural surroundings;
- Previously developed land the nature conservation value of which could outweigh the re-use of the site; and
- Previously developed land subsequently put to an amenity use.

3.6 Technical Advice Note (TANs)

Planning Policy Wales is supplemented by a series of Technical Advice Notes (TANs), which offer detailed guidance on specific topics. Of particular relevance to the issue of backland and infill development are TAN 12: Design, TAN 18: Transport and Draft TAN 22: Planning for Sustainable Buildings.

Technical Advice Note 12: Design

Planning Policy Wales is supplemented by a series of Technical Advice Notes (TANs). TAN 12: Design (June 2009) offers detailed guidance on achieving successful design in developments. Developers should consider how the following aspects of their development meet the objectives of good design and respond to local context:

- **Landscape setting** – the way in which a new development will work with the site and its landscape context. Including key features and qualities such as pattern, form, grain, appearance, colours and elements to meet the objective of sustaining character and reinforcing legibility;

- **Layout of development** – the way in which the proposed layout contributes to or improves the existing framework of connecting routes and spaces. The extent to which the proposed layout meets practical requirements such as access for emergency vehicles whilst including clear connections and ease of access for all particularly pedestrians and cyclists.
- **Density and mix of development** – how the proposal anticipates, in the short and longer term, efficient use of land while safeguarding the quality of life.
- **Scale of development** – in relation to surroundings, including height and bulk; how the massing of the proposal contributes to the existing hierarchy of development to reinforce character; how the mass and height impacts on privacy, sunlight and microclimate; and how height impacts on the attractiveness and safety of neighbouring public space; and
- **Appearance and materials** – how the proposed surface treatment and materials reflect those which are common to the locality or integrate existing features or, where appropriate, introduce innovative techniques.

Technical Advice Note 18: Transport

TAN 18: Transport sets out the Welsh Assembly's commitment to an efficient and sustainable transport system. Objectives set out to achieve this aim include:

- Ensuring new development is located where there is, or will be, good access by public transport, walking and cycling thereby minimising the need for travel and fostering social inclusion;
- Managing parking provision;
- Ensuring that new development and major alterations to existing development include appropriate provision for pedestrians (including those with special access and mobility requirements), cycling, public transport, and traffic management and parking/servicing;
- Promoting cycling and walking;
- Supporting the provision of high quality, inclusive public transport; and
- Encouraging good quality design of street that provide a safe public realm and a distinct sense of place.

(Draft) Technical Advice Note 22: Planning for Sustainable Buildings

TAN 22: Planning for Sustainable buildings explains how to apply the planning policy on sustainable building standards set out in The 'Planning for Sustainable Buildings' Ministerial Interim Planning Policy Statement (MIPPS 01/09). The consultation draft covers:

- Sustainable buildings standards;
- Reducing carbon emissions by using the energy hierarchy which sets out steps in building design that reduce emissions in the most effective manner;
- Preparing development proposals to deliver sustainable building standards;
- The role of planning authorities;
- Planning conditions and obligations; and
- Setting local requirements for sustainability on certain sites.

3.7 Manual for Streets

Manual for Streets assists in the creation of high quality residential streets that:

- Build and strengthen communities;
- Balance the needs of all users;
- Form part of a well-connected network;
- Create safe and attractive places which have their own identity; and
- Are cost-effective to construct and maintain.

3.8 Newport Unitary Development Plan (Adopted May 2006)

The Adopted Newport Unitary Development Plan (May 2006), contains relevant policies, notably:

CE33 – Environmental Spaces – which seeks to safeguard sites which have existing importance for their visual qualities, as wildlife habitats or for recreational or amenity spaces.

CE35 Sub-division of Curtilages & Backland Development - which seeks to regulate such development with the specific intention of avoiding over-development of land.

CE38 – Quality of Design - which requires that new development should respect or complement surroundings.

CE39 – Residential Design & Layout - which requires development to respect existing character and scale of the surrounding area.

CE40 – Infill Development – which requires that development respects the existing character and scale of the surrounding area.

H2 – Housing Sites Within Settlement Boundaries – allows for residential use within settlement boundaries (urban or defined villages), subject to criteria including effects on amenities of existing residents and the quality of it for residents of the new development.

3.9 Supplementary Planning Guidance

Reference should be made to other Supplementary Planning Guidance documents produced by the Council, where relevant. Supplementary Planning Guidance on House Extensions, A Model Design Guide for Wales: Residential Development (adopted by Newport City Council as SPG in May 2007) and the South Wales Parking Guidelines 1993 are of particular relevance to the issue of backland and infill development. A full list of all SPG documents available can be found on the Council's website at: www.newport.gov.uk/planningpolicy.

3.10 Guidance affecting Outline and Reserved Matters Applications (October 2008)

The Town and Country Planning (General Development Procedure) (Amendment) (Wales) Order 2008 came into force on the 6th October 2008. The 2008 Order clarifies the scope and limits of reserved matters and requires more information at the outline planning stage.

- 3.11 The amendments made to the GDPO, when taken alongside the requirement to submit a Design and Access Statement, will mean outline applications will have to demonstrate more clearly that the proposals have been properly considered in the light of relevant policies and the site's constraints and opportunities.

- 4.1 This guidance is intended to achieve good quality development which will preserve and enhance the character of the area and streetscene, the amenity of existing property and provide occupants of the new development with a high quality environment. It seeks to prevent overdevelopment of sites and the creation of town cramming. It applies to backland and infill development in both rural and urban locations.
- 4.2 All new development should be to the highest design quality and should sit comfortably within the surrounding area in terms of both appearance and proportion. It should demonstrate an understanding of and response to local character and context and have a clear vision demonstrated in the Design and Access Statement.
- 4.3 Priority will be given to protecting the amenity of existing property and all proposals for backland development will be judged in the first instance on this criterion. Protection will also be given to the setting and character of the wider environment including areas of open space. These include gardens and other land not incorporated into gardens. Open areas in or around the edge of settlements will be protected from intrusive development on similar grounds. The Council will resist the development of land where it would be detrimental to the setting or its character.
- 4.4 Development which unduly impinges on existing property will not be encouraged and will probably be refused planning permission. Solutions for issues arising from proposed backland development should be resolved within the proposed new building plot and not impact adversely on the existing and neighbouring properties. For example adequate boundary treatment including substantial planting should be provided on the new plot and overlooking windows should be avoided in the new building. New buildings should not intrude on existing ones, reference should be made to the *Daylighting and Amenity Guidelines* found in the Council's *Supplementary Planning Guidelines on House Extensions*, which are available at www.newport.gov.uk. Alternatives to overlooking windows should be considered, e.g. roof lights.

4.5 The Council is committed to ensuring development within the city is good, sustainable, of inclusive design and encourages the development of sustainable homes in sustainable locations.

Guidance Note A: Objectives

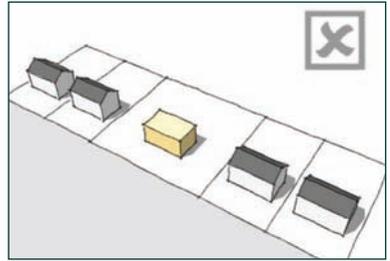
- A1 All proposals should protect the amenity of existing property and should not have a significant detrimental impact on existing properties
- A2 All new development should demonstrate an understanding of local character and context and should be of a good, sustainable, inclusive design

- 5.1 New houses should be constructed in ways that contribute to achieving the highest standards of sustainable development. All development must meet the minimum Code for Sustainable Homes levels set out in MIPPS Planning for Sustainable Buildings 01/2009.
- 5.2 Sustainable development is broad in scope and includes measures to promote and encourage a sustainable economy, sustainable communities, and the sustainable use and replenishing of natural resources.
- 5.3 Good design is crucial to creating high quality, sustainable development. For example, the orientation of buildings, choice of materials, nearby vegetation and the appropriate design of elevations are major factors in successfully utilising passive solar design (PSD). These can minimise dependence on artificial heating, cooling and lighting. Overshadowing on adjoining buildings should be minimised as this can reduce the use of PSD.
- 5.4 Within the Design and Access Statement, information should be supplied on how the development has applied the energy hierarchy (set out in Draft TAN 22) and reduced the carbon emissions associated with the development.

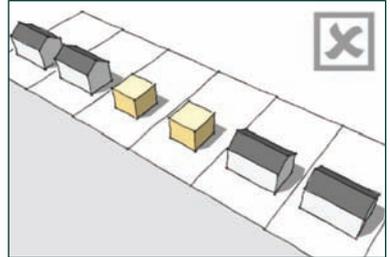
Guidance Note B: Sustainability

- B1 All new development will be encouraged to include measures to:
- Efficiently re-use land and buildings;
 - Conserve energy, materials, water and other resources through design;
 - Ensure designs make the most of natural systems both within, in and around the building, such as through the use of Sustainable Urban Drainage Systems (SUDS), natural daylighting, careful orientation, ventilation, Photovoltaic's (PV) and solar panels, etc.;
 - Minimise additional impacts of noise, pollution, flooding and micro-climatic effects;
 - Treat and attenuate water to minimise pollution and the risk of flooding;
 - Build in accessibility and adaptability;
 - Foster and maintain biodiversity;
 - Encourage sustainable modes of transport by providing good pedestrian links to local facilities and public transport.
- B2 All new development should be in a sustainable location, close to local amenities and public transport links.

6.1 In this context design means the design of the building itself and its relationship with the surrounding area and context. It includes the relationships between buildings and places in the private and public domain, such as streets, squares, parks, waterways and other spaces. The treatment of spaces themselves is important and landscape design should be given the same priority as the design of the buildings.



6.2 Design should be informed by the immediately surrounding buildings and by the townscape and landscape of the wider locality, and should reinforce local distinctiveness.



6.3 An assessment should be made of the surrounding built and natural environment taking into account the relationship between built and un-built spaces and the defining characteristics of the areas. These include its building traditions and material, overall scale, massing, height, density, landscape, layout and access in relation to existing buildings.

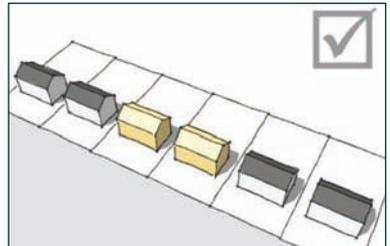


Diagram 6-8: Plot size and building form should reflect that of the surrounding area

6.4 Care should be taken to minimize the opportunities for crime that arise through poor design by applying the principles of Designing out Crime.

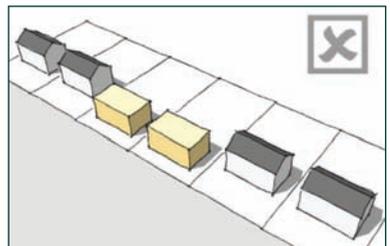


Diagram 9: All new development fronting a street should retain the existing building line

Materials and Form

6.5 The scale and massing of new dwellings should reflect and respond to those around them. Building a three storey dwelling, for example, will not generally be accepted in close relationship to an area of bungalows. Consideration should be given to the mass of a building as well as its height.

- 6.6 The spaces between buildings have as much of an impact on the character of an area as the form of the buildings. For example, a large plot could appear odd amongst high density development, or a small house on a small plot can look odd in or adjacent to large low density housing.
- 6.7 Where development fronts an existing street, care must be taken to retain similar spacing between dwellings to the existing in order to enhance and reinforce the character of the area. Similarly, the prevailing depth of frontage should be maintained where it is a feature of the area that contributes to the appearance of the street. Development should seek to retain and accord with any prevailing building line where that is a strong characteristic of an area.
- 6.8 New buildings should reflect and enhance the local style and identity of the settlement where they are located. Materials used for roofing and walls should match or respond to adjacent dwellings, as should materials and colours for doors and window frames.
- 6.9 Where a departure from the local vernacular is proposed, exceptional design quality, a sound understanding of local character and context, energy efficiency and sustainability must be demonstrated.

Density

- 6.10 Backland and infill development can help to increase development densities and reduce demands on greenfield sites. However, design standards should be high to avoid loss of amenity and to avoid town cramming. Lower densities are considered to be more appropriate where there will be an adverse effect on existing development or on an area with special character or qualities.
- 6.11 Garden size and plot width will be used as an indicator of acceptable densities.

6.12 New development will reflect the character and density of the adjacent area. The new house should have a garden that is similar to and sits comfortably with the gardens of adjacent properties. Where a new development fronts a street it should have a similar plot width to that prevailing in the immediate street frontage and should be of a similar scale and massing to surrounding properties. Unless a large plot of land is involved this will usually limit new development to one dwelling per existing garden.

Design and Access Statement

6.13 Applicants should include a written statement setting out their vision for the scheme and their design principles as well as illustrative plans and elevations with their proposals. In the case of limited backland development an extensive statement should not be necessary but sufficient information should be included to justify the scheme. Photographs or drawings of the area around the site may be sufficient along with drawings of the proposals to show how the development would relate to the local area. Reference should be made to the Council's guidance sheet on Design and Access Statements which can be found at www.newport.gov.uk.

Guidance Note C: Design

- C1 New development will reflect and enhance the character of the area in terms of its scale, massing, proportion, form and materials.
- C2 New development will be similar in scale and proportion to existing buildings and will have a garden that is similar in size and sits comfortably with the gardens of adjacent properties.
- C3 New development which faces a street or is readily visible from a street should reflect the rhythm, scale and proportion of the street scene.
- C4 The Council will resist development which would be overbearing or have a detrimental impact on the privacy and amenity of new or existing properties.

7 Privacy and Amenity

7.1 Account should be taken of all adjoining residential development, not just the property which is providing the new building plot(s).

7.2 To protect the privacy of new and existing properties, a minimum distance of 21 metres should be maintained between principal windows to habitable rooms. (See diagram 10). This distance may be relaxed where facing a public highway.

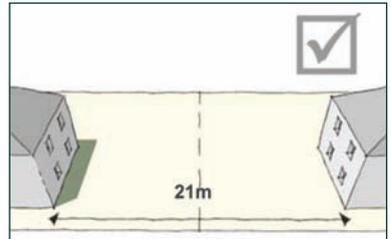


Diagram 10: 21m separation distance should be retained between facing windows to habitable rooms to protect neighbouring privacy

7.3 No clear glazed windows from habitable rooms should directly overlook private amenity areas.

7.4 To minimise overlooking of boundary fences from first floor habitable room windows, a minimum garden depth of 10 metres should be provided between the rear wall of a house and the rear boundary of a plot. (See diagram 11). In cases where the garden is to the side of a house the same dimensions will apply. This will ensure adequate amenity space is provided for future residents.

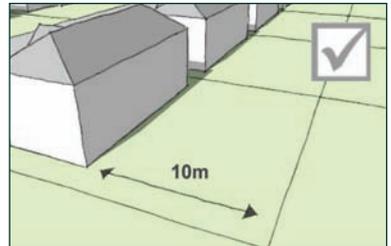


Diagram 11: To retain adequate private amenity space from first floor habitable room windows a minimum garden depth of 10m should be provided between the rear wall of the house and the rear boundary of a plot

7.5 Where a plot is subdivided to create or contribute to new backland development, the width of the original garden should be retained. The dimensions may be reduced where it can be shown that amenity will not suffer for either new or existing buildings.

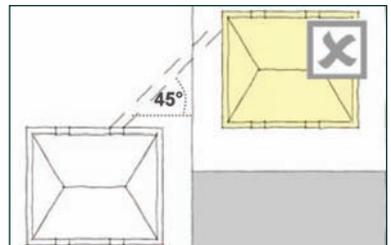
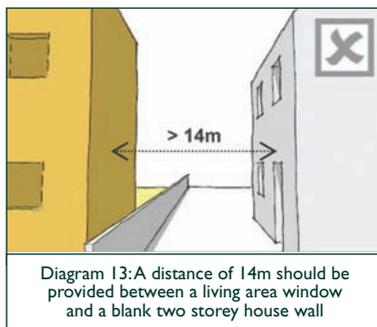


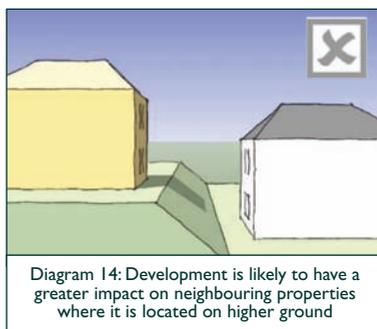
Diagram 12: The 45° Rule protects daylight and amenity to neighbouring properties

7.6 Donor properties providing land for backland or infill development are not to be left without reasonable gardens and parking spaces where they already have them. Access for pedestrians and vehicles where it exists to and around buildings should be retained.

7.7 The Council will seek to protect daylight and outlook from living area windows by operating a 45° splayline (drawn in the horizontal plane) from the centre of the window for infill development. (See diagram 12). Any part of the new building which extends beyond the splayline may be considered to adversely affect the amenity of the neighbouring occupiers.



7.8 Account should be taken of the massing of buildings and ground levels. New buildings near to plot boundaries can be intrusive when seen from existing gardens or from within dwellings. A minimum distance of 14 metres should be provided between a living area window and a blank two storey house wall to avoid over-dominant development and overshadowing of neighbouring properties. (See diagram 13).



7.9 The impact can be made worse where windows have been removed from walls to bring a building closer to a boundary. Development on higher ground will make buildings appear larger, more overbearing and have a greater impact on outlook. (See diagram 14).

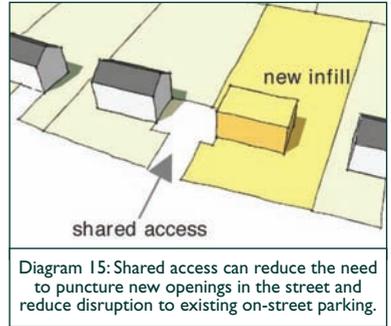
Guidance Note D: Privacy and Amenity

- D1 All development must respect the privacy and amenities enjoyed by the occupiers of neighbouring properties.
- D2 The Council will resist development which would be overbearing or significantly adversely affect the amenity of existing properties.

Access

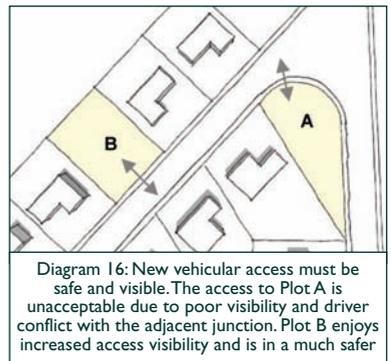
8.1 Existing and new roads, streets or accesses should follow the principles of inclusive design as set out in Manual for Streets.

8.2 Where possible, existing access arrangements should be used to serve new infill or backland developments, in order to maintain the appearance of the street frontage. It may be possible for new dwellings to share driveways or to provide car parking at the rear. Where a new access is necessary, it must be located in a safe and visible location, with clear visibility splays and set away from junctions or other hazards. Access roads serving 5 or more dwellings must be designed and constructed to an adoptable standard.



8.3 The maximum distance between the public highway and a dwelling should be no more than 45 metres. Any shared access road or driveway must include turning areas to enable vehicles to enter and leave in forward gear; these turning spaces should be provided either as part of the access road or on the plots it serves.

8.4 There should be room for vehicles to pass each other, especially on bends and a space 1 metre wide provided between the access road and all properties, new and existing. Adequate access visibility splays to existing highways should be provided for the safety of both vehicles and pedestrians.



8.5 Generally where fewer than five dwellings are involved vehicular access should be 4.5 metres wide for the first 10 metres and 4.1 metres wide after that. Care should be taken to ensure that vehicles can pass each other on any bends. Advice on access schemes for five or more dwellings will be provided by the Council.

8.6 If a backland or infill development is to share an access with a non-residential use a greater width will probably be required.

8.7 Notwithstanding the above requirements sufficient width should be provided for emergency vehicles. Advice on this is available from the Council's Building Control section.

8.8 While an access may be acceptable on the grounds of flow, safety and other traffic criteria it may be refused on grounds of adverse impact on the neighbouring property e.g. too close, too noisy through serving a number of houses. Noisy surfaces, e.g. gravel or similar should be avoided.

8.9 In the interests of security there should only be one access route for both cars and pedestrians which should lead onto properties in a way which avoids dead ends on public land. Adequate pedestrian access must be provided which will not result in conflict between vehicles and pedestrians. Alleyways offering unsupervised and unsecured routes through housing development should be avoided. Long driveways with tall fencing on each side should be avoided.

8.10 Where planning applications are submitted within an existing development site and served by an existing substandard access, there should be scope for a limited redevelopment that incorporated a substantial access improvement, even though the improved access would still be below standard. This will not be applicable for new junctions where full visibility splays will be required.

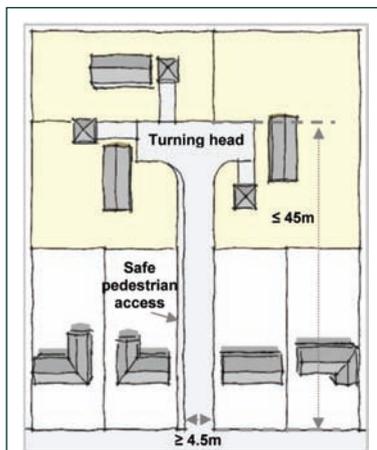


Diagram 17: Access

The maximum distance between the public highway and a dwelling should be no more than 45 metres.

Where fewer than five dwellings are involved vehicular access should be 4.5m wide for the first 10 metres and 4.1m wide after that.

Any access road or driveway must include turning areas to enable vehicles to enter and leave in forward gear.

Adequate pedestrian access must be provided which will not result in conflict between vehicles and pedestrians.

Parking

- 8.11 Proposals for each site will be decided on an individual basis based on the material planning considerations. Off street parking must be positioned close to dwellings and must not be located so as to interfere with any joint access road. The location of parking spaces should be appropriate to the layout of the development and minimize the opportunity for crime and anti social behaviour.
- 8.12 Lower parking provision in backland development can allow for higher density development. However this should only be where there is convenient access to facilities, either on foot or by bus, which provide for daily needs, e.g. shops, schools, employment and other essential services. Plans should show adequate space separated from other uses such as storage. The Council is keen to see the provision of cycle parking spaces especially in urban locations.

Guidance Note E: Access and Parking

- E1 Access roads serving 5 or more dwellings must be designed and constructed to an adoptable standard.
- E2 Off street parking in accordance with the Council's Parking Guidelines must be provided.
- E3 The maximum distance between the public highway and a dwelling should be 45 metres.
- E4 Passing areas and turning heads should be provided.
- E5 Safe pedestrian access must be provided.
- E6 Access should have no adverse impact on neighbouring privacy or amenity.

- 9.1 Areas of green space which contribute to the character of the area and which contribute to local public amenity and leisure are as important to an area as the buildings which surround it. The Council will resist applications for development on such areas of land.
- 9.2 Trees make a significant positive contribution to the character of an area and to local amenity.
- 9.3 The Council will resist any application for development which will result in the loss of mature trees, hedges and boundary walls which make a positive contribution to a site or surrounding area. This also includes the loss of trees in order to achieve a sight line or visibility splay.
- 9.4 Developers will be encouraged to plant new native trees on new development sites, even where there is to be no loss of existing trees. However, it is unlikely that a new planting scheme will be considered adequate replacement for existing site features.
- 9.5 Any application for infill development where there are trees on the site should be accompanied by a full tree survey and a site survey showing current levels and all site features. The site survey should include all trees, hedges, walls, ponds and other site features considered to be relevant. Tree surveys should conform to BS5837 *"Trees in relation to construction – Recommendations"*, or any subsequent amendment which supersedes this and clearly indicate the Tree Protection Zone required around existing trees to be retained. New development will not normally be allowed where a building would be situated within the outermost branch spread of a mature tree. The tree survey may require that the new building be set some distance outside the crown. Impermeable surfaces should be avoided below the canopy/crown spread of any tree.
- 9.6 No future pressure for the removal of a tree or continual pruning due to overshadowing, leaf fall, bird droppings or root damage to drains and foundations should result from any new development. Consideration for the likelihood of such future issues should be submitted in support of any application on land where there are existing mature trees or hedgerows.

9.7 Ecological assessments will be required for any development proposals which are likely to have an impact on ecology. For any development which is likely to impact on trees, a bat survey may be required.

Guidance Note F: Trees and Landscaping

- F1 No loss of mature trees, hedges and boundary walls which make a positive contribution to a site or surrounding area should result from any new development.
- F2 No future pressure for the removal of a tree or continual pruning should result from any new development.
- F3 Appropriate boundary treatments should be provided which reflect the local context and provide a safe pedestrian environment and good visibility.

10

Conservation Areas and Listed Buildings

- 10.1 The Council will treat proposals in conservation areas and near listed buildings and scheduled ancient monuments with special care. It has a duty to preserve listed buildings and scheduled ancient monuments and their settings, and to preserve or enhance conservation areas. Proposals should take account of these designations and it is important that the Council is contacted at an early stage before designs are drawn up.
- 10.2 Trees in conservation areas are protected in a similar way to those with Tree Preservation Orders. Special permission is needed to lop, prune or fell them and to carry out building or ground works within an area covered by the spread of the branches.

11

Refuse Disposal

- 11.1 Provision should be made on each residential property for the storage of waste and recycling bins away from public view. If communal bins are used, for instance with flats, these should be kept in an enclosed storage area accessible to refuse vehicles.

12

Neighbourly Considerations

- 12.1 Backland and infill development can be a highly disruptive process for neighbours. Typical un-neighbourly activities include anti-social working hours, excessive dirt, dust and noise as well as plant and materials blocking the highway. Managing the impact of the building process on people and the environment should be an integral part of planning the building operations. Conditions restricting working hours may be applied to larger developments.



Notes to Applicants

The Council will welcome discussions with prospective developers or their agents prior to planning applications being made. In dealing with planning applications, the Council will have regard to all material considerations. The guidance contained in this document will be a material consideration. Before submitting a planning application, applicants are advised to discuss plans with neighbours and to check deeds of ownership.



Appendix A - Useful Publications

Newport City Council (2005) Unitary Development Plan

Planning Officers Society for Wales (2005). 'A Model Design Guide for Wales: Residential Development'. Adopted by Newport City Council as Supplementary Planning Guidance 2007.

Newport City Council (2005) 'House Extensions: Supplementary Planning Guidance' (booklet)

Newport City Council (2006) 'Flat Conversions & Houses in Multiple Occupation: Supplementary Planning Guidance' (booklet)

Newport City Council (2000) 'Repairs and Alterations to Listed buildings: Supplementary Planning Guidance' (booklet)

Newport City Council (2005) 'What is a conservation area?' (leaflet)

Newport City Council (2005) 'Design Guide for an Accessible Environment' (booklet)

South Wales Counties Parking Guidelines (1993)

CABE (2004) 'Safer Places: The Planning System and Crime Prevention'.

Design Commission for Wales (2008) 'Design and Access Statements in Wales'

British Standards Institute (1991) BS5837 'Guide to trees in relation to construction'.

Countryside Council for Wales 'Bats in roofs'
(a guide for building professionals)

Gwent Wildlife Trust, 'Think Wildlife'



Appendix B - Contacts

For Planning Services, Building Control or Highway Planning, contact:

Newport City Council

Civic Centre
Newport
South Wales
NP20 4UR

01633 656656

www.newport.gov.uk

planning@newport.gov.uk

Design Commission for Wales

4th Floor
Building Two
Caspian Point
Caspian Way
Cardiff Bay
CF10 4DQ

(029) 2045 1964

www.dcfw.org

Commission for Architecture in the Built Environment

CABE

1 Kemble Street

London

WC2B 4AN

(020) 7070 6700

www.cabe.org.uk

Secured by Design

www.securedbydesign.com

Planning, Regeneration & Strategic Housing
Newport City Council
Civic Centre
Newport
South Wales
NP20 4UR

01633 656656
www.newport.gov.uk