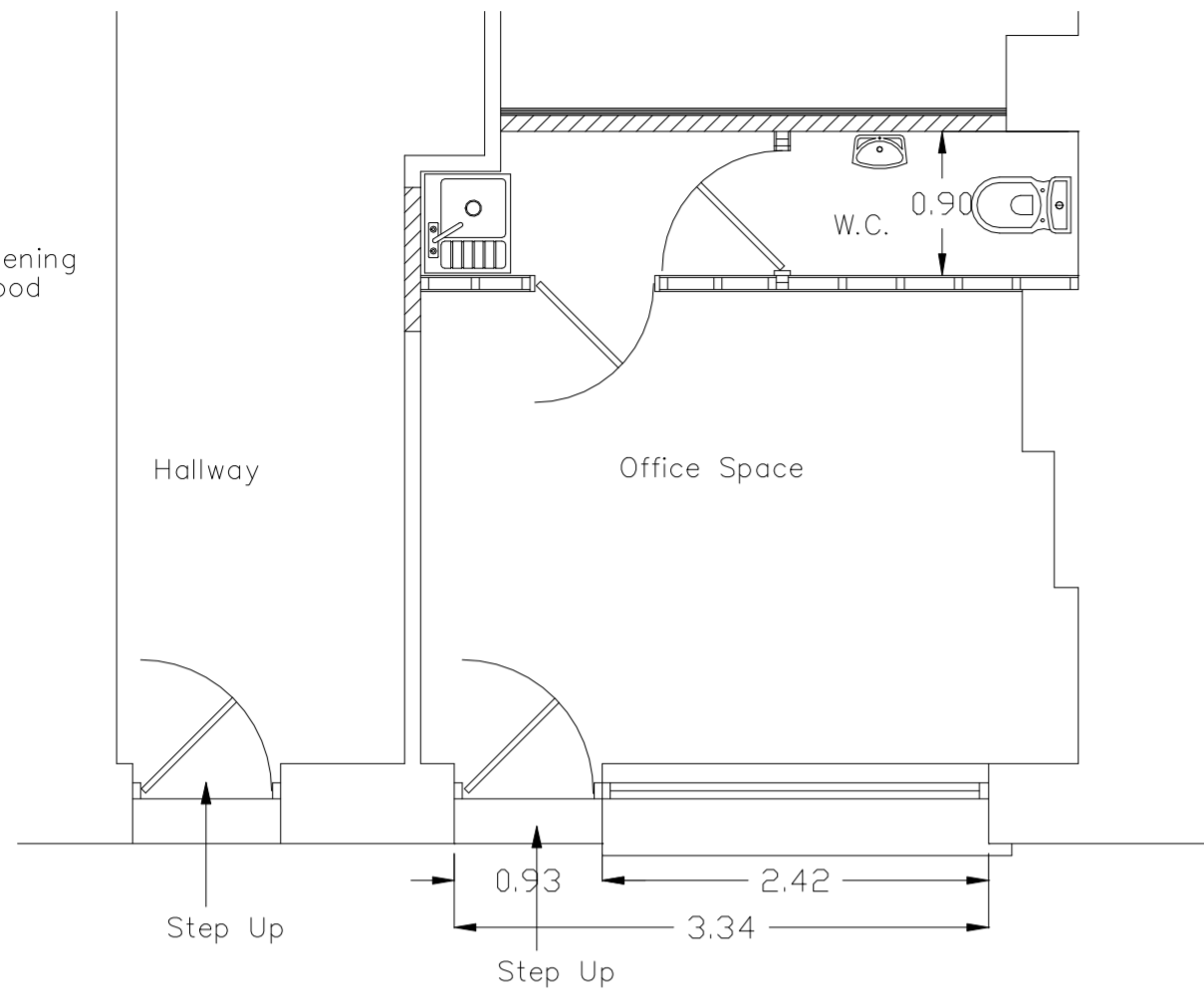


Seal door opening and make good both sides.

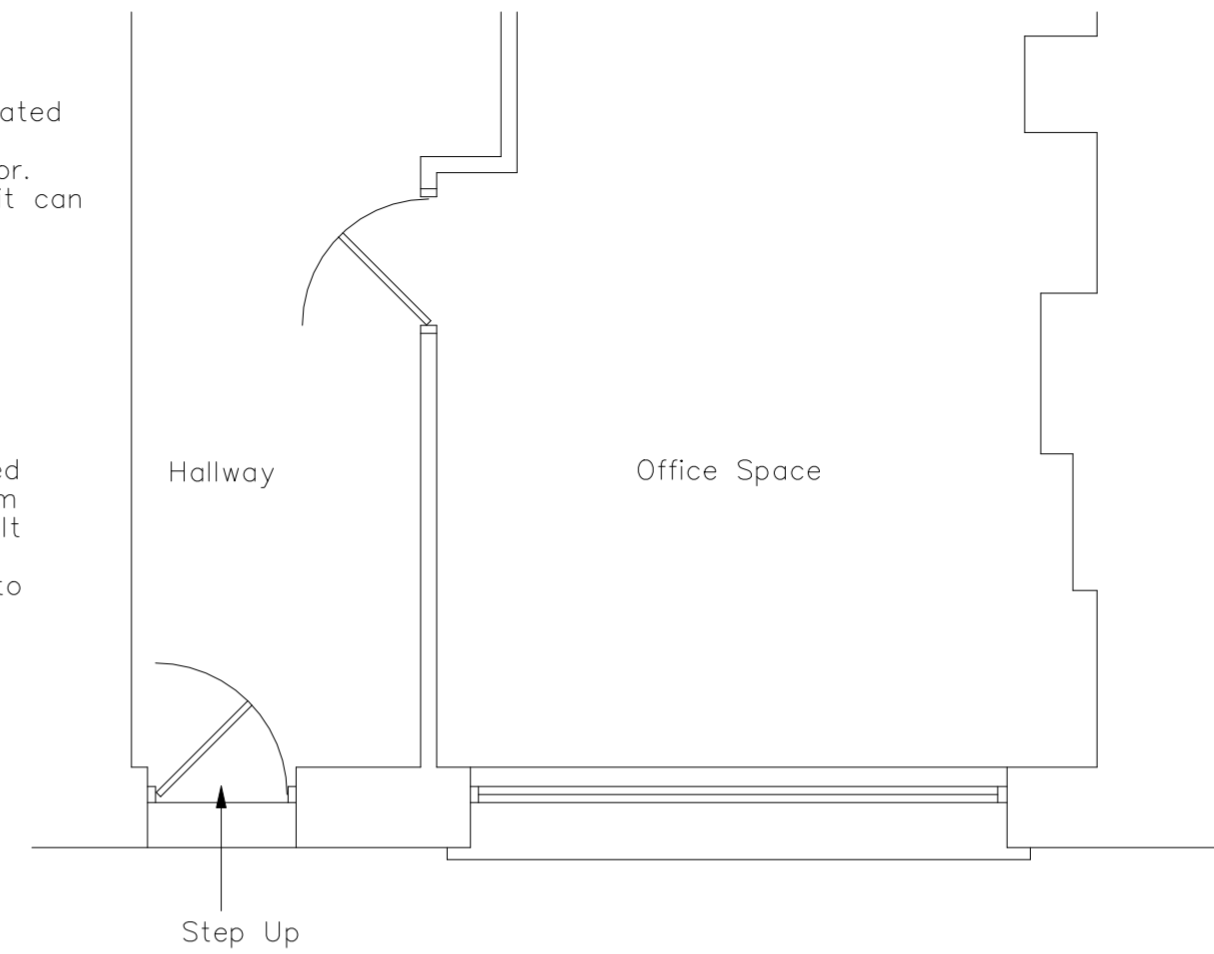


PART PLAN PROPOSED GROUND FLOOR

PARTITIONS
100mm Insulation block, (Celcon Solar or similar) with 40mm insulated plasterboard to one face of wall with render and set finish both sides, tied to flank walls, built off existing suspended concrete floor. Floor to be inspected prior to commencement of works to check it can safely sustain the additional loading.

STUD PARTITIONS
12.5mm x 10Kg/m² Plasterboard, laid with staggered joints fixed to 50x100mm softwood studs set at 400mm centres, cross noggled and to receive edge of board, with sole and head plates, with skim finish both sides, with 25mm dense sound absorbing insulation quilt laid between studs to protect against impact sound etc. with mid density of 10Kg/m². Provide green water-resistant plasterboard to shower/bathroom side of stud wall.

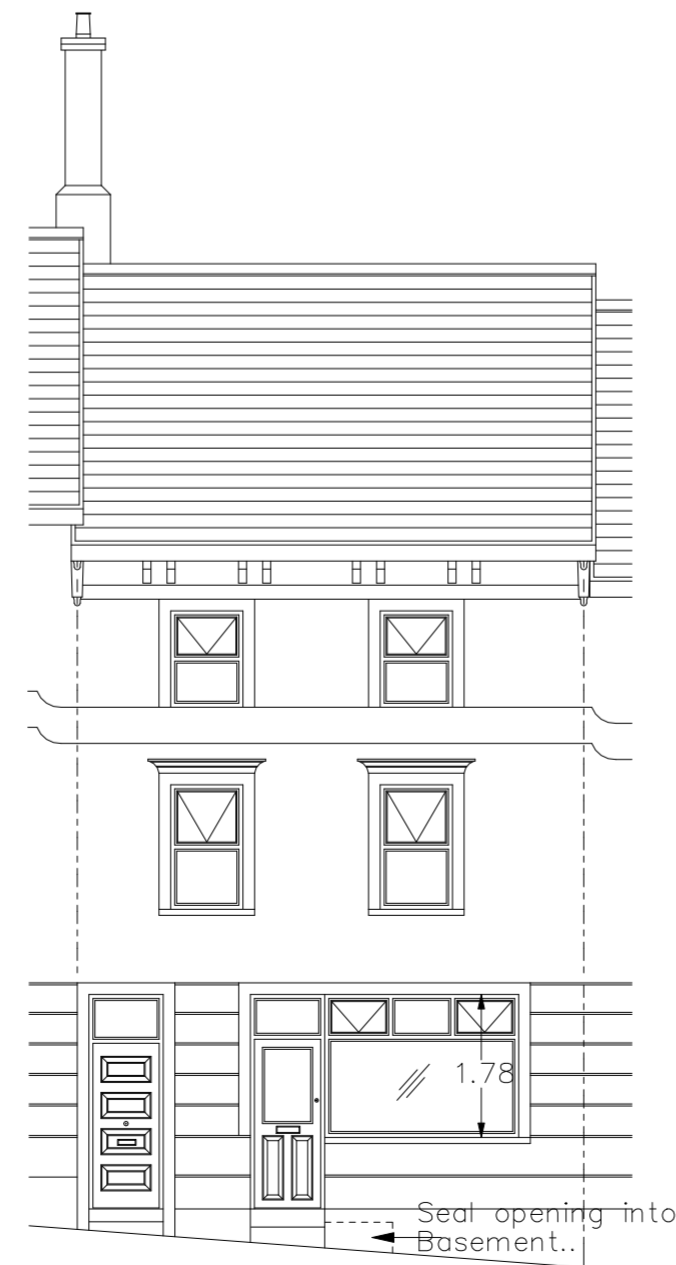
Take out front window and form opening and fit new external quality door and framer and new u.P.V.C. window with safety glass/plate glass glazing.



PART PLAN EXISTING GROUND FLOOR

GENERAL NOTES

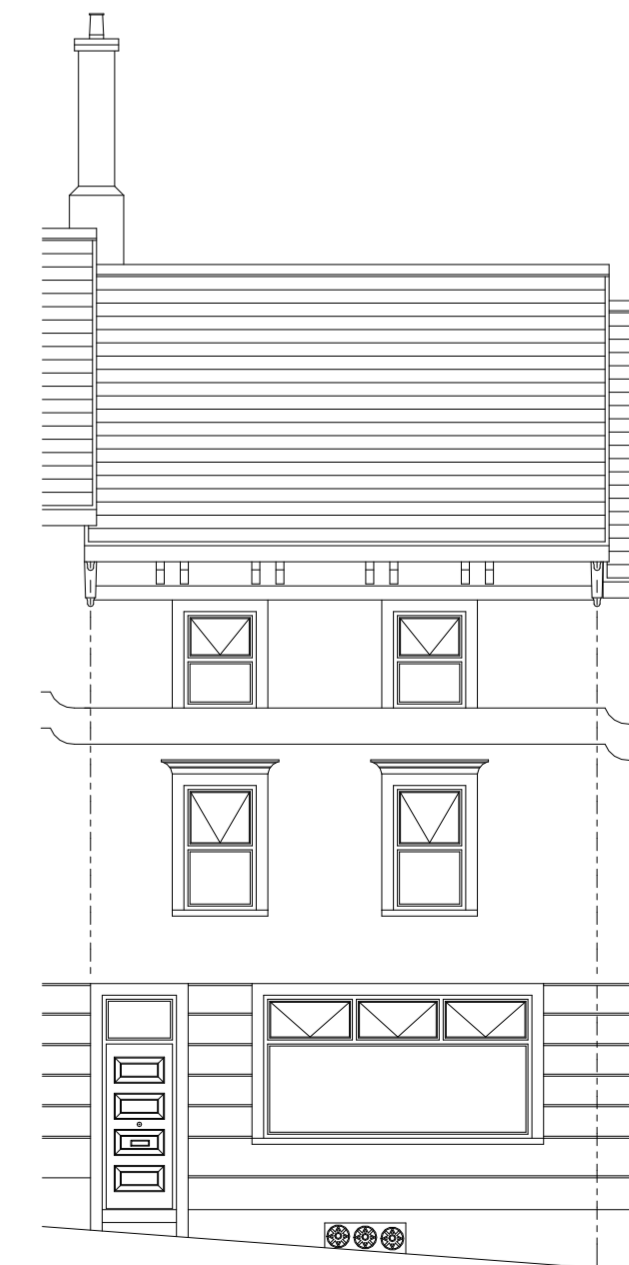
1. Upon completion all works to comply fully with current Building Regulations and Allied Legislation.
2. If plan is dimensioned then DO NOT SCALE. All dimensions to be checked on site, IF IN DOUBT ASK. ANY ERROR FOUND TO BE REPORTED IMMEDIATELY.
3. The plans are intended for Planning and/or Building regulation purposes only and are not to be used as working drawings.
4. All works to be carried out to good Building practice and to acceptable standards.
5. The Building Works you intend to carry out at your property could evoke proceedings under the terms of the Party Wall Act 1996, etc., therefore you should inform your neighbours of the intended works prior to commencement on site.
6. The specifications, contained in this plan, could change due to the variety of materials and methods available but which on completion perform to the same standard. The specification could also be varied by the Area Building Control Officer.



PROPOSED FRONT ELEVATION

WINDOWS AND GLAZING

All new windows to have an openable area of 1/20th floor area of room served and fitted with 8000mm² square trickle vents. New windows to be u.P.V.C. double glazed with 20mm air gap with 'K' glass. Close cavity at cill level with insulation block to prevent thermal bridging. Provide Catnic or similar insulated steel lintels over window and door openings with 150mm end bearing and cavity tray over. Provide leadcore or similar Insulated D.P.C. around all external openings. New windows to meet 1.6w/m²k U value. All new glazing to comply with Section 2, paragraph 2-11a of Document 'B' and Approved Document 'N'. Windows to meet 1.6w/m²K 'U' value



EXISTING FRONT ELEVATION

PROPOSED ALTERATIONS
at 56 BRIDGE STREET,
NEWPORT.
Scale 1:50 & 1:100 @ A2