

APPLICATION NUMBER: RECON 24/0756

PROPOSAL: 30NO AFFORDABLE HOUSING APARTMENTS AND ASSOCIATED EXTERNAL WORKS AND PARKING

SITE: Land Formerly Known As 21 Kelvedon Street Newport

APPLICATION TYPE: Full

A number of revised documents have been submitted. In general this responds to previous queries but I still have concerns on the impact on the street trees see comments below.

Also to note that for such a significant scale scheme, no indicative SUDs scheme is shown either on the Site Plan or Soft Landscape Proposals 1229.01 Rev A. There is however space to accommodate above ground SUDs.

Street Trees

An Arboricultural Impact Assessment by Treescene has now been provided.

I defer to the Tree Officer but note that the AIA does not take into account the proposed hard and soft landscape work:

- proposals for the Landscaped Amenity Space are not detailed in the submission but likely to include removal of existing material for the brownfield site, placement of topsoil and planting or seeding; there will be new surfacing including base course around the bin store all within the already compromised RPA of T4 (category A lime)
- new topsoiled bank and continuous native hedge planting within the already compromised RPA of T3 (category A lime)

In addition, the RPA's are shown as a nominal radial area but given the existing extent of tarmac it is likely this is not the case.

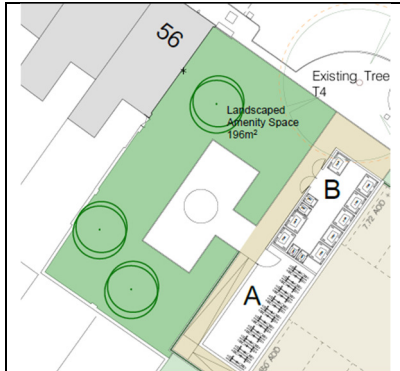
The proposed canopy pruning to T1 (category B false acacia) to accommodate the flats will result in an odd-shaped street tree but I can see no alternative.

I recommend that an Arboricultural Method Statement (AMS) is provided to include aboricultural supervision for pruning work to the T1 canopy, and to include all works within the RPA of T3 and T4.



If full planning is granted I would advise the following is conditioned:

1. A hard landscape plan showing existing and proposed levels information, covering level changes, retaining structures, surfacing, boundary treatment, street furniture etc, this should also indicate treatment at the centre of the amenity space shown below.



Gill Mackley CMLI Mackley Davies Associates Ltd for Streetscene and City Services February 2025