

CWL90
UNIT 7 INDURENT PARK, NEWPORT
NP19 4RG
Surface Water Drainage Note

10th January 2025

1. INTRODUCTION

TSL projects have appointed Skeletal Consulting Engineers (SCE) for civil and structural consultancy advice in relation to a proposed tenant fit out of the speculatively built unit 7, Indurent Park, Newport.

This note is written to describe any changes to the existing surface water drainage on site for the consented scheme by the tenant fit out works.

The site is within an area of the following risk profile:

Flooding from rivers – Very low risk

Flooding from the sea – Low risk

Flooding from surface water and small watercourses – Medium risk

The previously consented scheme indicated a small area of flooding within the dropped floor to the dock area which is shaded blue in figure 3.

2. PROPOSED WORKS

The existing and proposed hardworks layout for unit 7 is shown in figures 1 and 2.



Figure 1: Existing Hardworks Layout for Unit 7

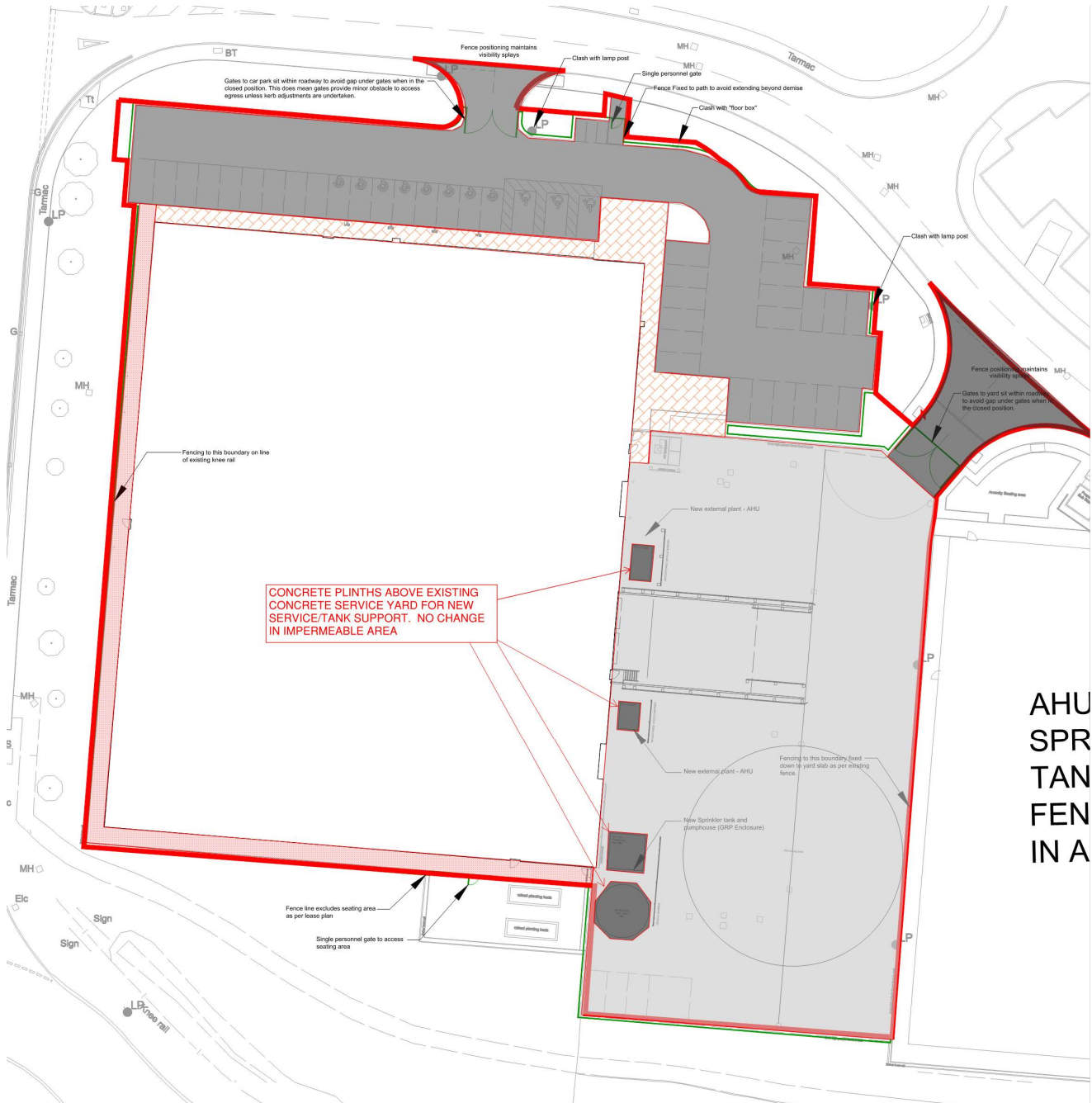


Figure 2: Proposed Hardworks Layout for Unit 7

As indicated in figures 1 and 2, the external hard landscaping extents will remain exactly the same in area. The only change externally will be the addition of concrete plinths for minor plant items as highlighted in figure 2. These will be above the existing impermeable concrete yard and hence will not materially change any extent of hard landscaping quantities.

The existing drainage for the site is shown in figure 3 with the proposed site layout overlain. The existing concrete yard falls at a gradient of 1 in 40 away from the building to an Aco channel at the low point. The proposed works will retain the channel untouched and fall will be maintained toward this area. The surface water flows, areas and arrangements will therefore not be affected by the proposed tenant fit out works. The proposed sprinkler tank is currently shown above a surface water run feeding the roof drainage into the surface water network. The loading and ground conditions for this element are currently under assessment. Should new foundations be required for this element, the tank will be relocated so as not to disturb or alter the existing surface water drainage. The other new

plant items are air handling units and a sprinkler pumphouse, which will be suitable to sit on top of the existing concrete yard slab construction without new foundation.

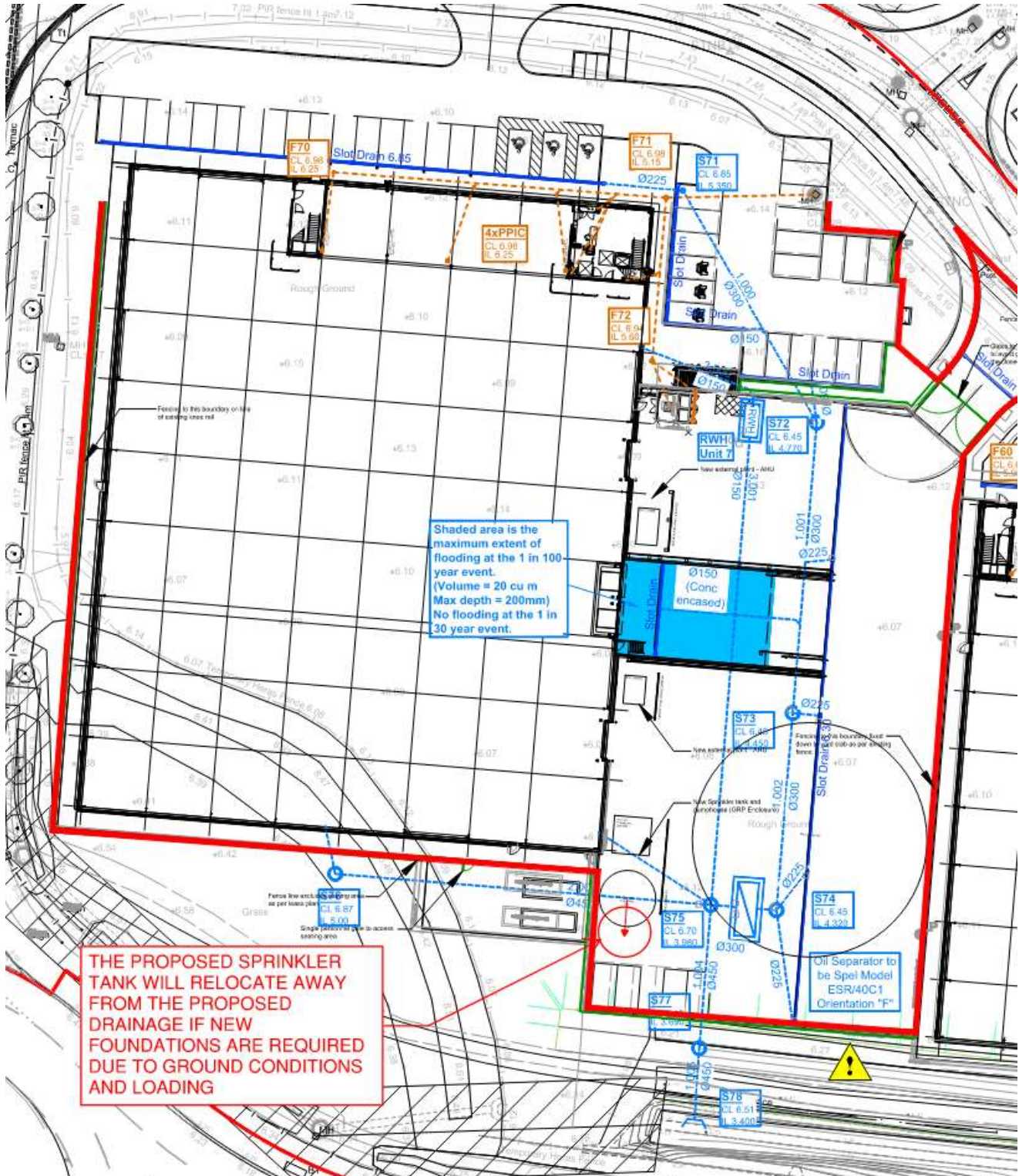


Figure 3: Existing Drainage Layout and Proposed Layout Overlain

3. CONCLUSION

The proposed tenant fit out works do not materially change the surface water drainage or flood risk of the previously consented unit 7 building, and hence it is deemed that a SABs application is not necessary for this planning application.



Prepared by:

Jon Ellis CEng MICE
Technical Director



Checked by:

Lee Harper
Director