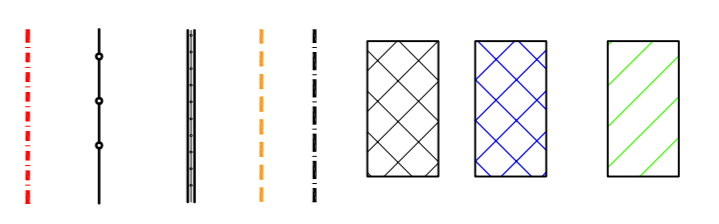


**External Works Key:**

- A Denotes Tarmacadam access road to adoptable standards with 2000mm wide footpath.
- B Denotes Tarmacadam private driveway.
- C In situ concrete with brushed finish (to bin stores)
- D Denotes 450 x 450mm pre cast concrete paving slabs.
- E Denotes area of brick paviours to car parking spaces.
- F Denotes planting / landscaping. Please refer to TDA landscaping drawings for details.
- G Denotes grass seeded areas.



**Note:**

Approximate extent of proposed re-en indicated on site. Please refer to TDA landscaping drawings & ecology recommendations SMA drawing no. 115030 for further details on proposed works and setting out of re-en.

Hatched area denotes proposed earth embankment retaining wall system, to be constructed in strict accordance with Engineers design & recommendations. Please refer to SMA Associates design drawings for further details.

Hatched area denotes proprietary gabion basket retaining Engineers design and recommendations. Please refer to SMA Associates design drawing for further details.

Hatched area denotes indicative extent of proposed phase 2 works.

1800mm high treated timber close boarded fence.

1800mm high acoustic fence to engineers specification.

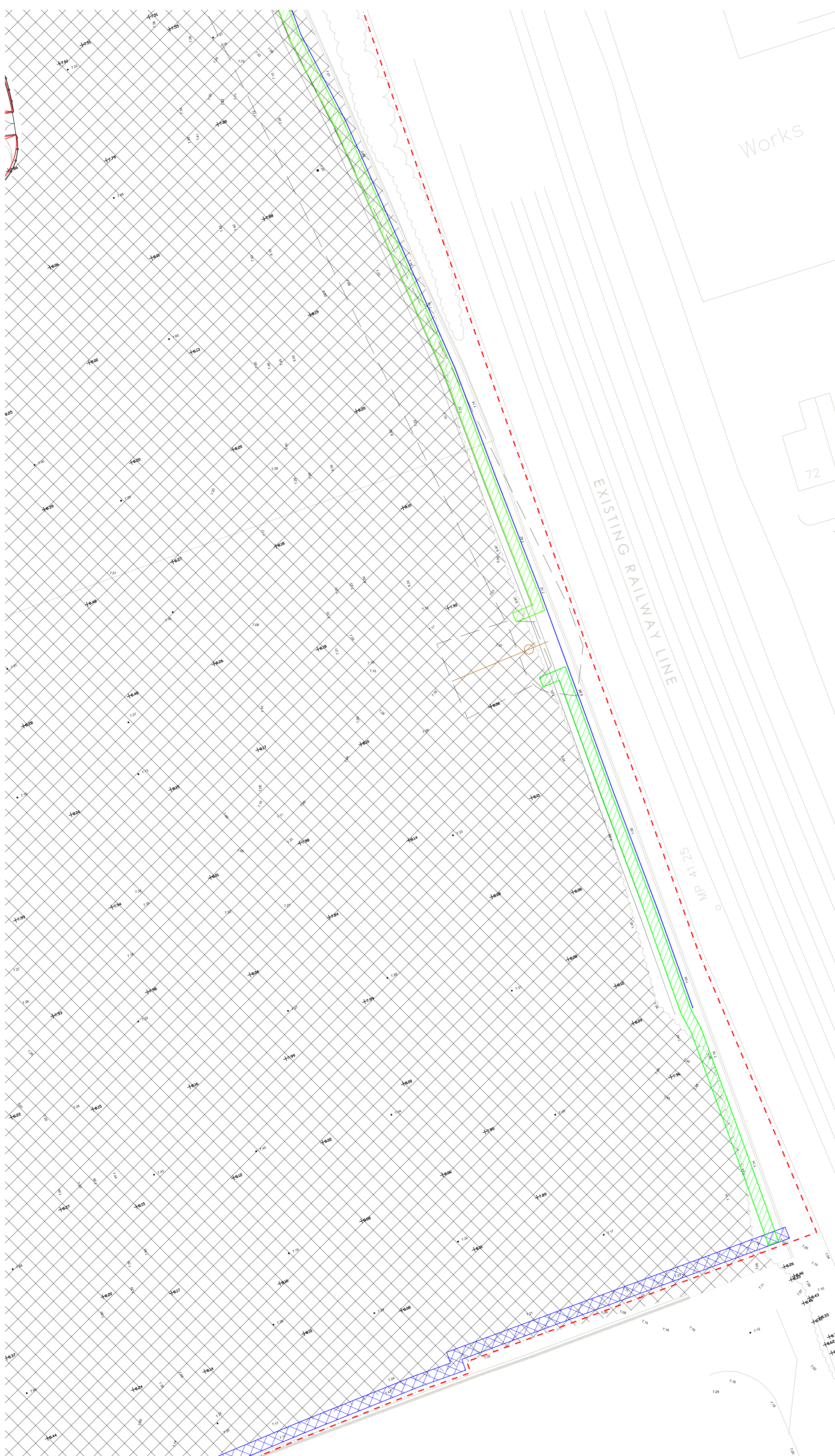
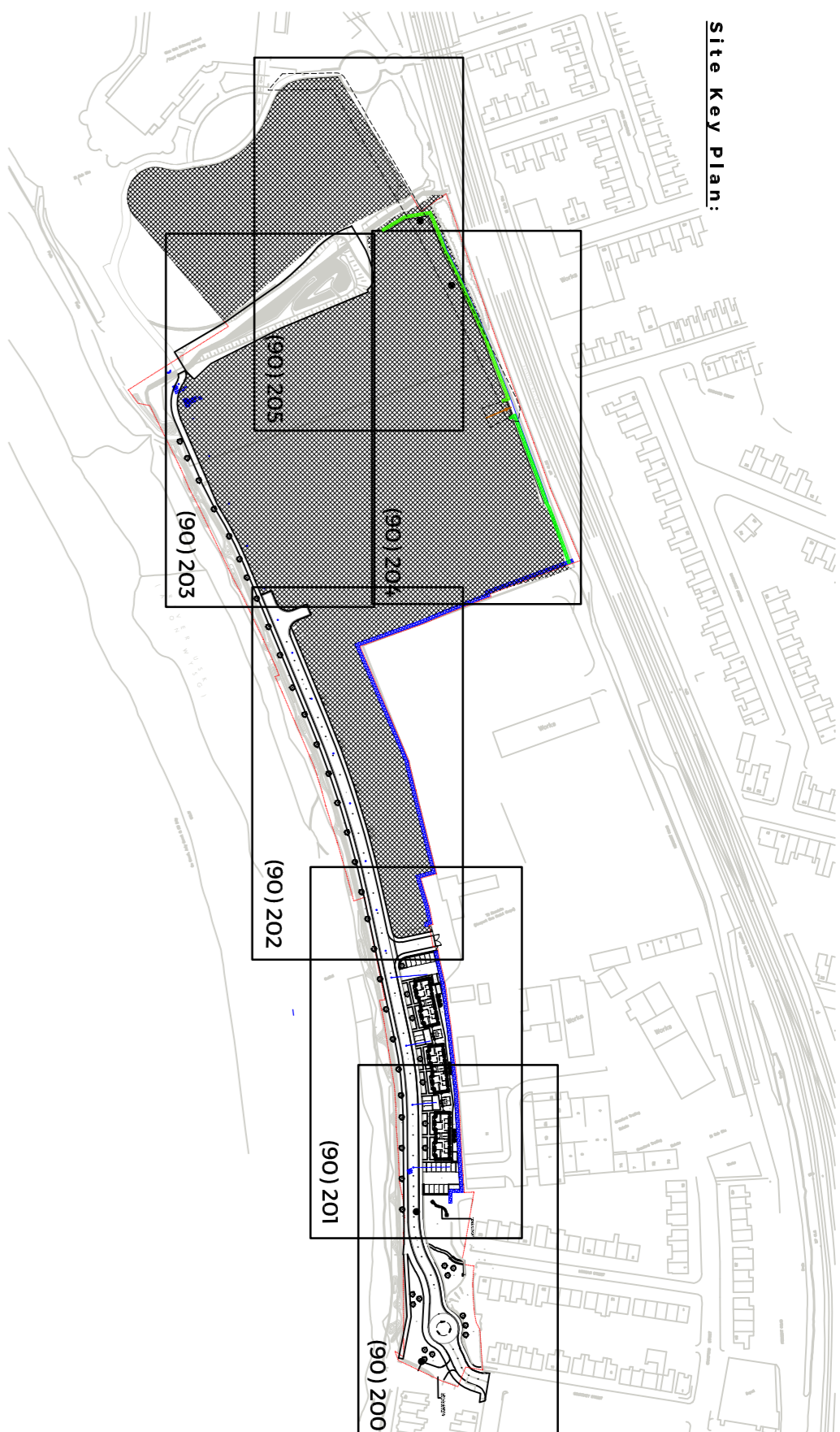
215mm facing brick dwarf wall to structural engineer's design with galv. railings on top. Wall to receive anti graffiti paint. Approx. total height of wall 1500mm.

150mm high painted ball top steel railings. Colour grey, to be confirmed by client.

Broken line denotes indicative site boundary line. Exact boundary to be confirmed by client & registry site plan.

- 900mm wide timber gate to match fencing with a secure lock to garden side. In compliance with BS5822:2007 - Timber gates to be similar height to adjacent timber fence line.
- Approx 5500mm wide vehicular double gate & 3600mm wide pedestrian gate to match existing palisade fencing. Gate to be approx width of new road access. Exact size to be confirmed prior to manufacturer.
- Approx. 3000mm wide maintenance access double gate to confirm. Exact size to be confirmed prior to manufacturer.
- 2000r external water butt complete with secure lid, stand, drainage tap & overflow. Rainwater butt must be removable from RWP & lid must be removable for cleaning purposes.
- Denotes 120 linear meter, 3 arm heavy duty rotary clothes driers set in concrete foundation.
- Bin store location. Please refer to drawing no. 3154(90)101 for details.
- Proposed trees. Please refer to TDA landscaping drawings for further details on landscaping proposals.

**Site Key Plan:**



Do not scale from this drawing.  
The Contractor shall check all dimensions and report all errors and omissions to the ARCHITECT.

11/01/17  
Revised from issue 11/01/17  
Boundary line updated

**Client**  
Keapneat

**Project**  
Herbert Road Newport

**Drawing Title**  
Proposed Site Plan  
(5 of 6)

**Project No.** 3154 (90)204  
**Revision** A

**Drawn** JI  
**Director** JM  
**Date** 12.06.17

**Project Status**  
**Author** P  
**Checker** T  
**Stage** C

**Scale:** 1:250  
**Sheet Size:** A1